



STREET PERSPECTIVE



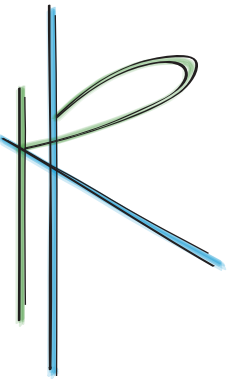
ENTRY PERSPECTIVE



REAR PERSPECTIVE



GARAGE PERSPECTIVE



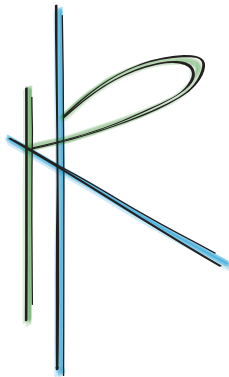
UPRISE DESIGN + DRAFTING INC.
#110 - 3121 HILL RD, LAKE COUNTRY, BC
PH: 778.480.0341

1458 ALTA VISTA RD
VLS DEVELOPMENTS
DATE: OCTOBER 17, 2024
SCALE: AS NOTED

GENERAL NOTES
1. ALL PLANS AND DIMENSIONS MUST BE REVIEWED BY CONTRACTOR BEFORE CONSTRUCTION AND MUST VERIFY ANY DISCREPANCIES BETWEEN THE DRAWING AND EXISTING CONDITIONS PRIOR TO WORK BEING DONE.
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3. THESE PLANS ARE FOR A SINGLE PROJECT AND THE COPYRIGHT BELONGS TO UPRISE DESIGN + DRAFTING INC. THE DESIGN MUST NOT BE COPIED AND THESE DRAWINGS MUST NOT BE DUPLICATED BY ANY PERSONS.

COLOUR
PERSPECTIVES

0.0



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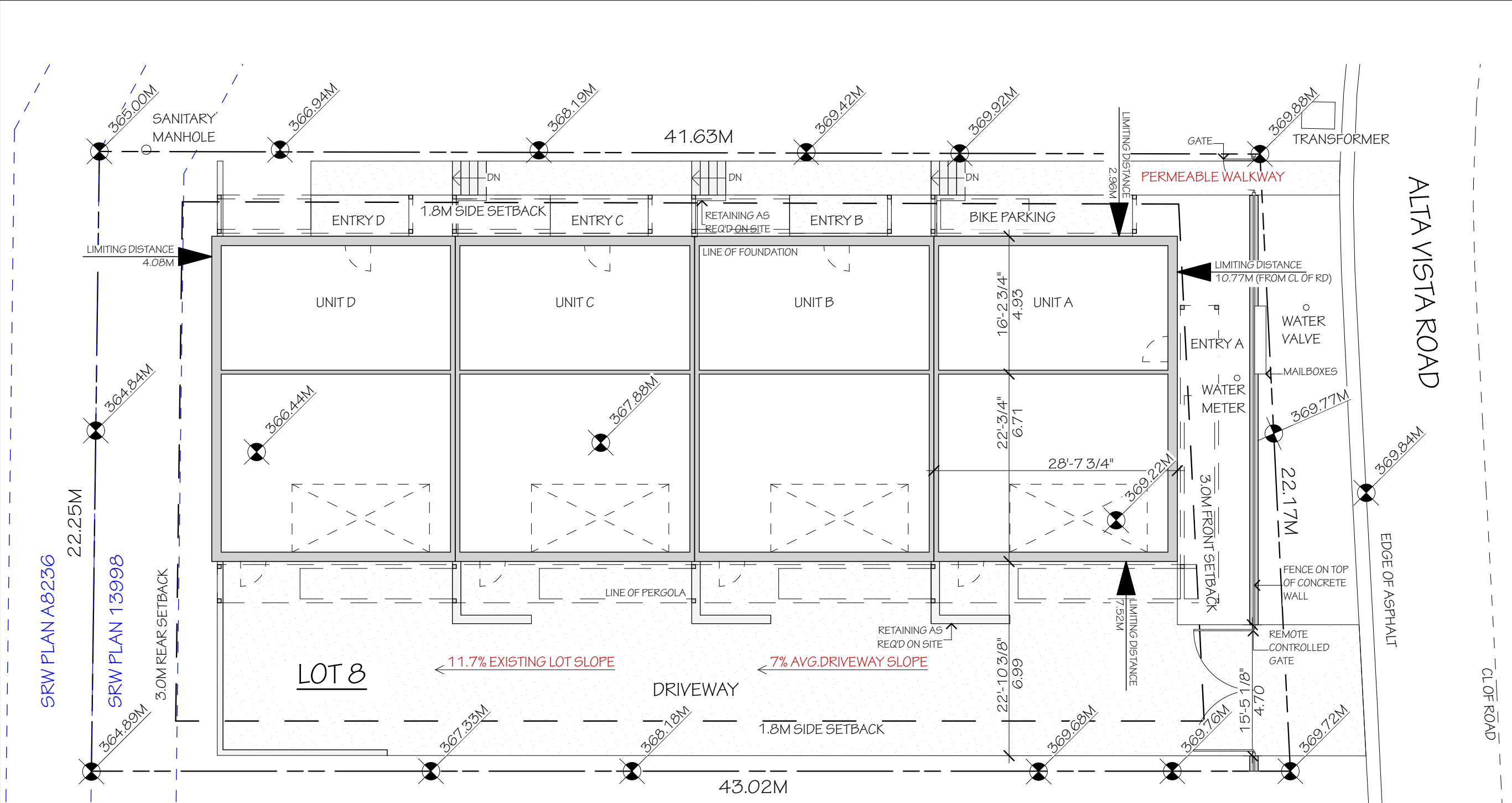
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BUILDING
MATERIALS

0.1

SHEET 2 OF 11



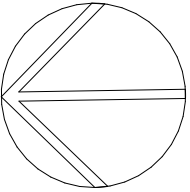


1

SITE PLAN

SCALE: 1:150

LOT AREA	10,110.4	ft ²	=	939.29	m ²	100%
SITE COVERAGE (MAX. 55%)	4,350.9	ft ²	=	404.21	m ²	43.02%
SITE COVERAGE W/ DRIVEWAY (MAX. 75%)	7,536.4	ft ²	=	700.16	m ²	74.54%



1458 ALTA VISTA RD

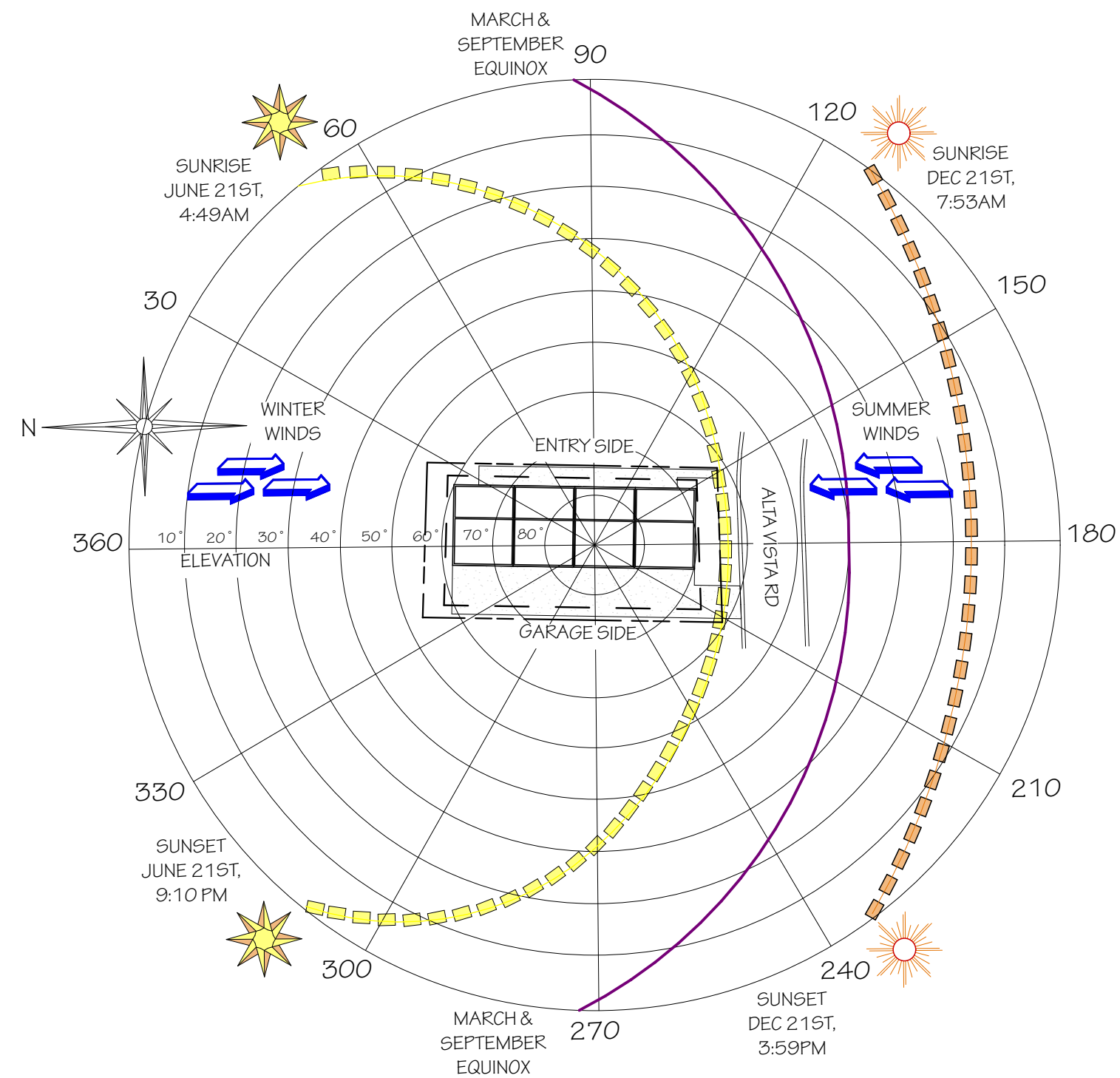
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SITE PLAN



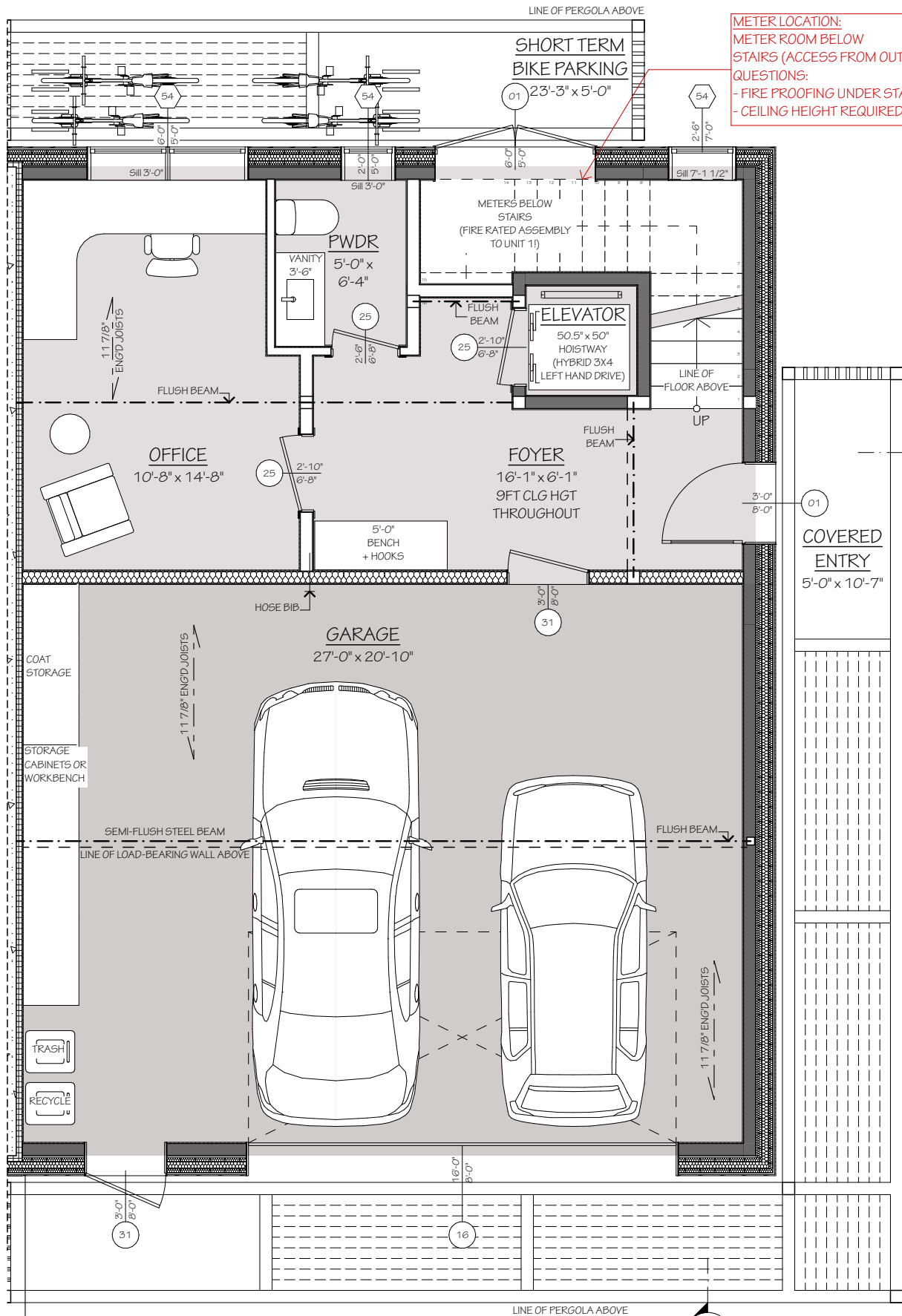
1 SITE STUDY

SITE INFORMATION	
CLIENTS:	VLS DEVELOPMENTS
ZONING DISTRICT:	MF1
LEGAL ADDRESS:	LOT 8, DISTRICT LOT 137, PLAN KAP16411
CIVIC ADDRESS:	1458 ALTA VISTA RD KELOWNA, BC
ZONING REQUIREMENTS:	
MAXIMUM HEIGHT:	11.0M
LOT COVERAGE:	55% (75% FOR BUILDINGS + NON-PERMEABLE SURFACES)
UPPER FLOOR AREA:	70% FLOOR AREA FOR 3RD FLOOR
DRIVE AISLE:	MIN. 4.5M WIDE* + 2.0M HEIGHT CLEARANCE
	*AISLE MUST BE 0.2M WIDER WHEN ABUTTING AN OBSTRUCTION (INCLUDING BUT NOT LIMITED TO COLUMNS, LOT LINES, CURBS, WALLS, PIPES, ROOF FEATURES, FENCES, ETC.)
PARKING SPACE SIZE:	REGULAR SIZE (6.0M x 2.5M)
REQUIRED OFF-STREET PARKING:	MIN. 1, MAX 2 SPACES PER 3-BED DWELLING UNIT
REQUIRED BICYCLE PARKING:	4 SHORT TERM SPACES



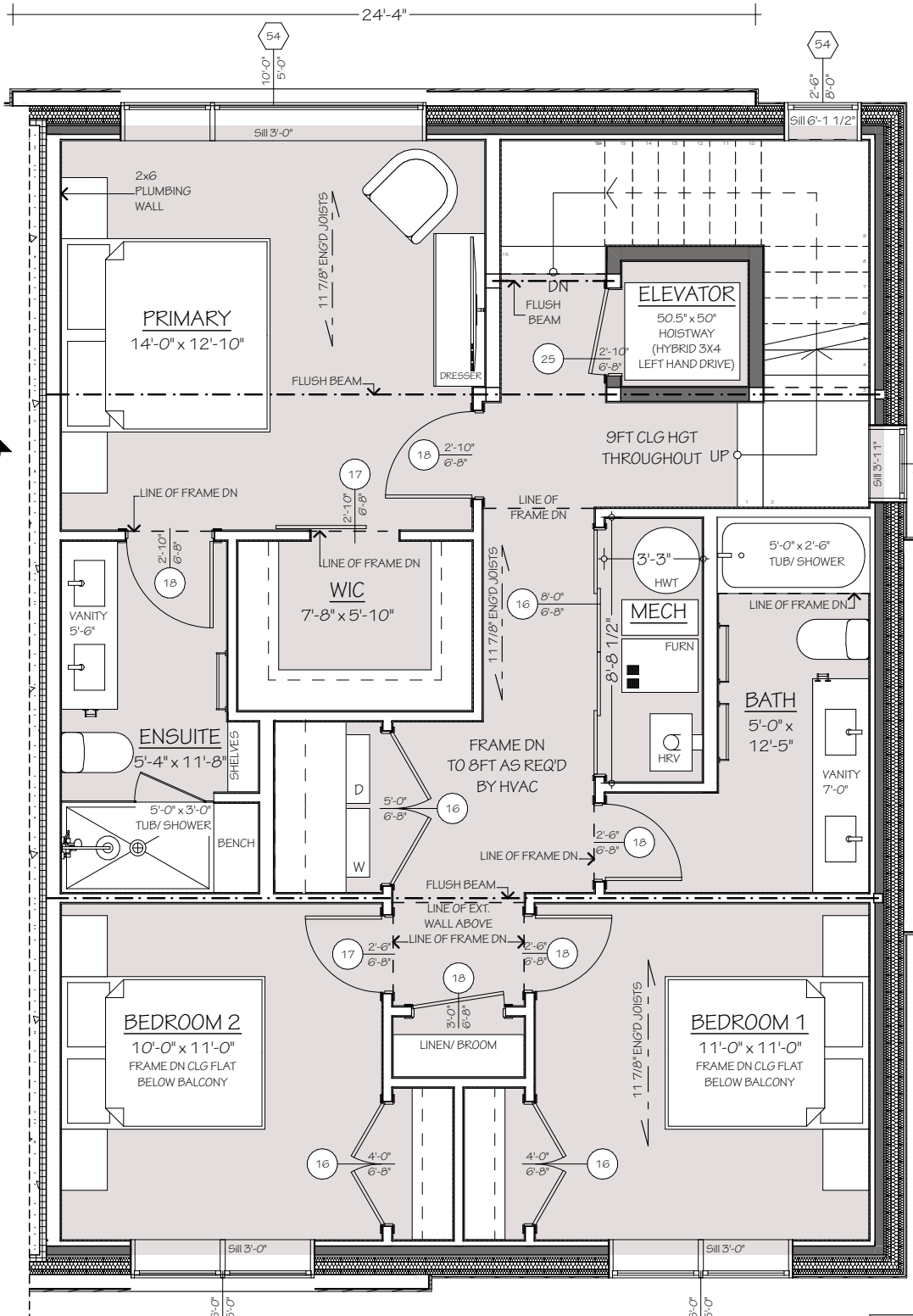
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1 LOWER FLOOR

SCALE: 3/16" = 1'-0"



2 MIDDLE FLOOR

SCALE: 3/16" = 1'-0"

UNIT A

NOTE: FLOOR PLAN OF UNIT A IS ALTERED BASED ON REQUIREMENT FROM CITY OF KELOWNA TO HAVE THE ENTRY FACE THE STREET.

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1458 ALTA VISTAR RD
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GENERAL NOTES

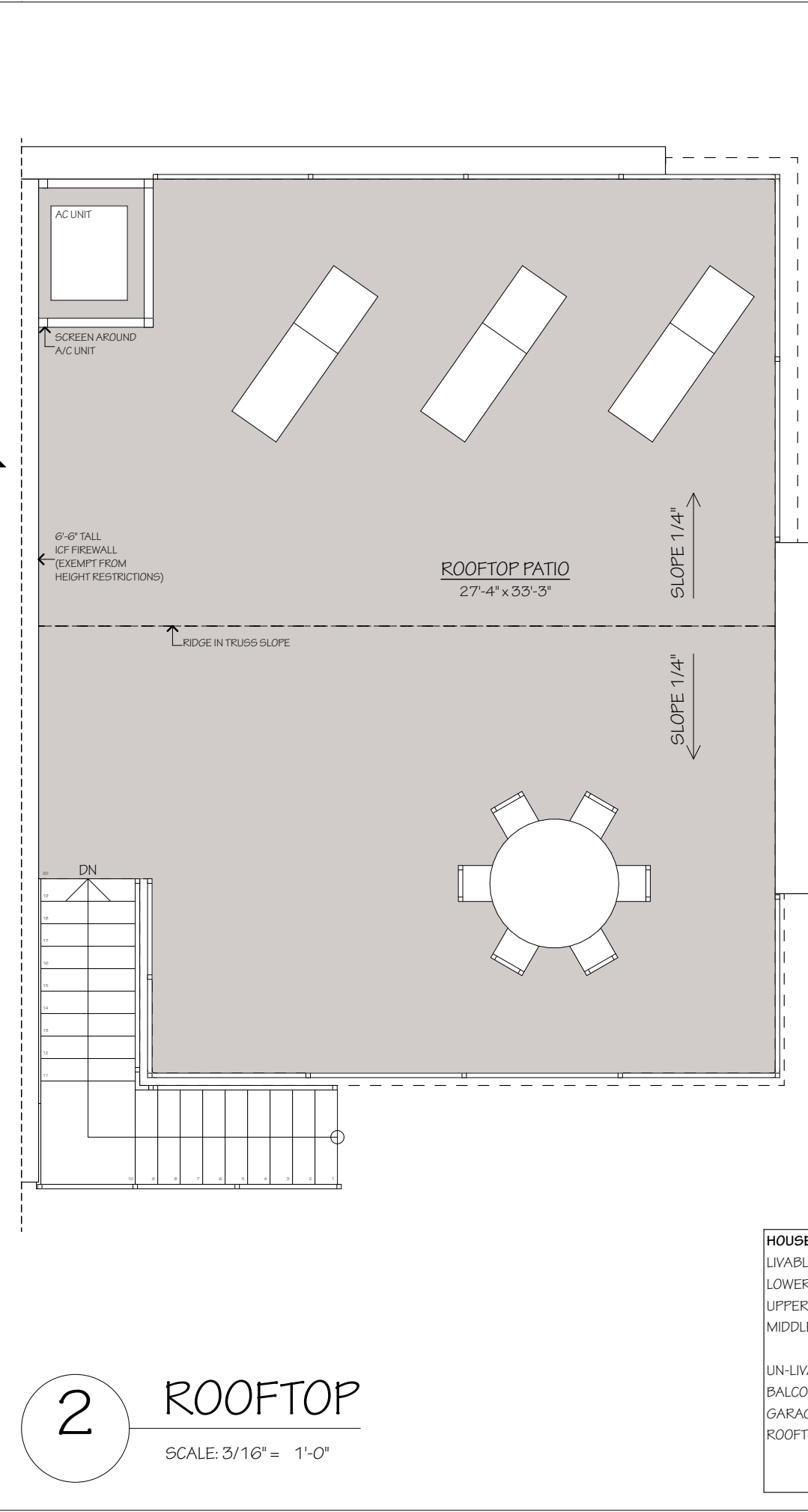
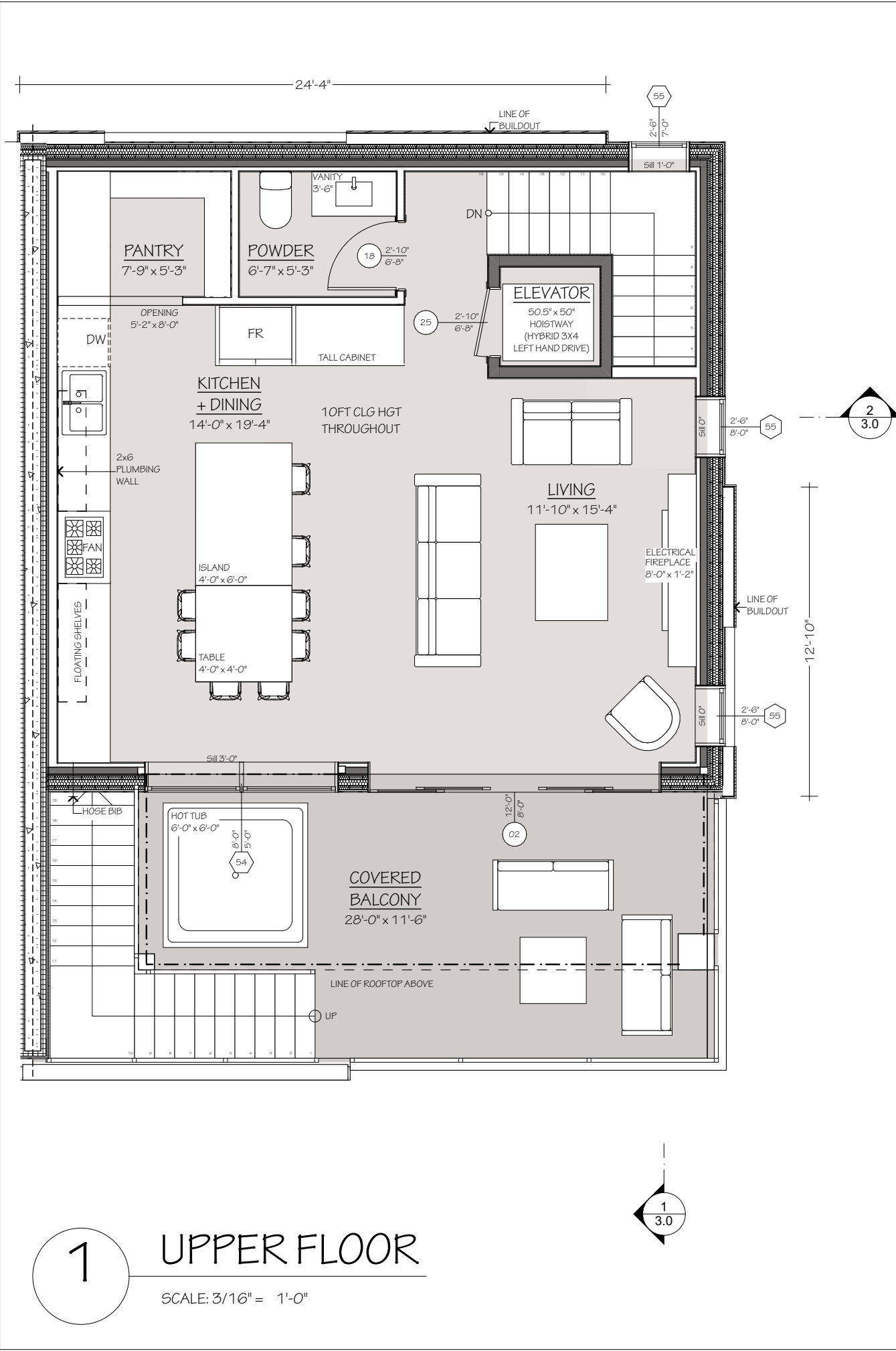
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UNIT A LOWER/
MIDDLE FLOOR

1.0

SHEET 5 OF 11

HOUSE AREA:		
LIVABLE		
LOWER FLOOR AREA:	436.3	ft ²
UPPER FLOOR AREA:	714.0	ft ²
MIDDLE FLOOR AREA:	1,036.0	ft ²
	2,186.3	ft ²
UN-LIVABLE		
BALCONY AREA:	340.2	ft ²
GARAGE AREA:	599.7	ft ²
ROOFTOP PATIO AREA:	878.0	ft ²
	1,817.9	ft ²
	4,004.2	ft ²



UNIT A

NOTE: FLOOR PLAN
OF UNIT A IS ALTERED
BASED ON
REQUIREMENT FROM
CITY OF KELOWNA
TO HAVE THE ENTRY
FACE THE STREET.

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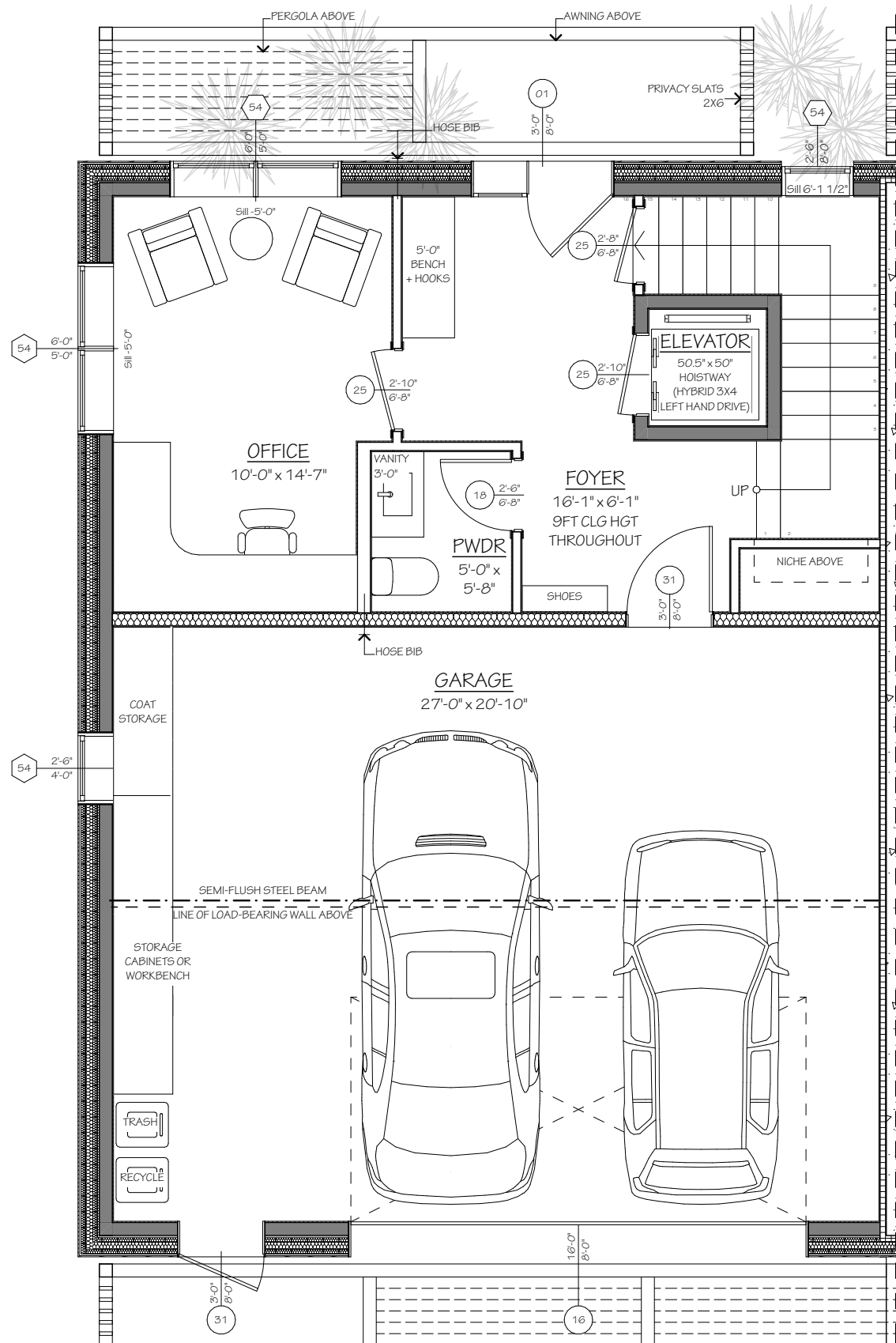
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**UNIT A UPPER/
ROOFTOP**

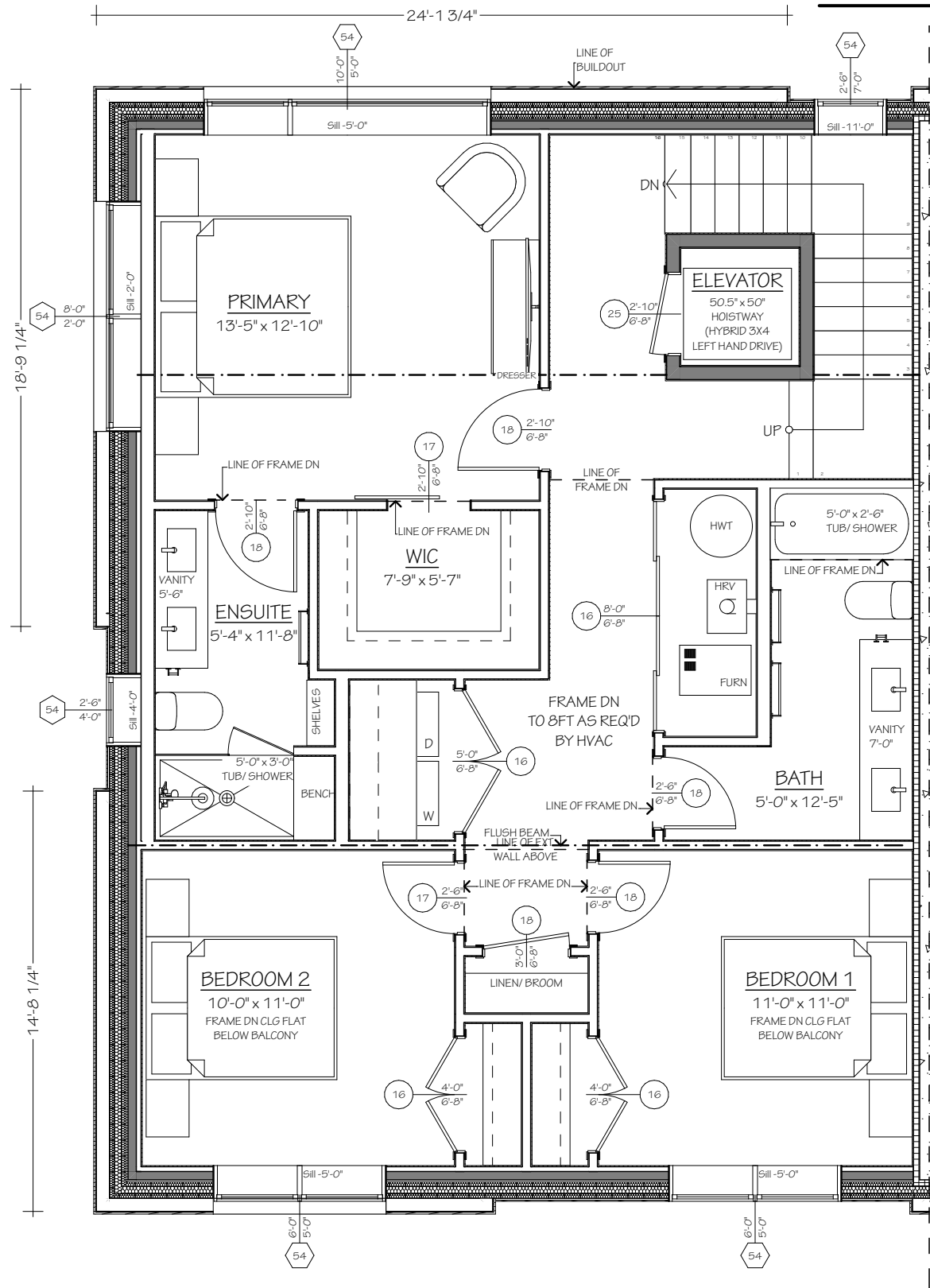
1.1

SHEET 6 OF 11

HOUSE AREA:		
LIVABLE		
LOWER FLOOR AREA:	436.3	ft ²
UPPER FLOOR AREA:	714.0	ft ²
MIDDLE FLOOR AREA:	1,036.0	ft ²
	2,186.3 ft²	
UN-LIVABLE		
BALCONY AREA:	340.2	ft ²
GARAGE AREA:	599.7	ft ²
ROOFTOP PATIO AREA:	878.0	ft ²
	1,817.9 ft²	
	4,004.2 ft²	



1 LOWER FLOOR
SCALE: 3/16" = 1'-0"



2 MIDDLE FLOOR
SCALE: 3/16" = 1'-0"

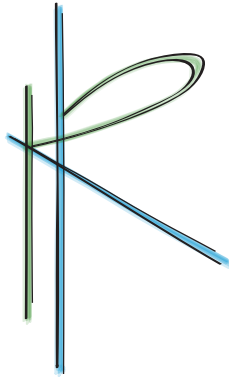
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UNIT B-D LOWER/
MIDDLE FLOOR

UNIT B-D



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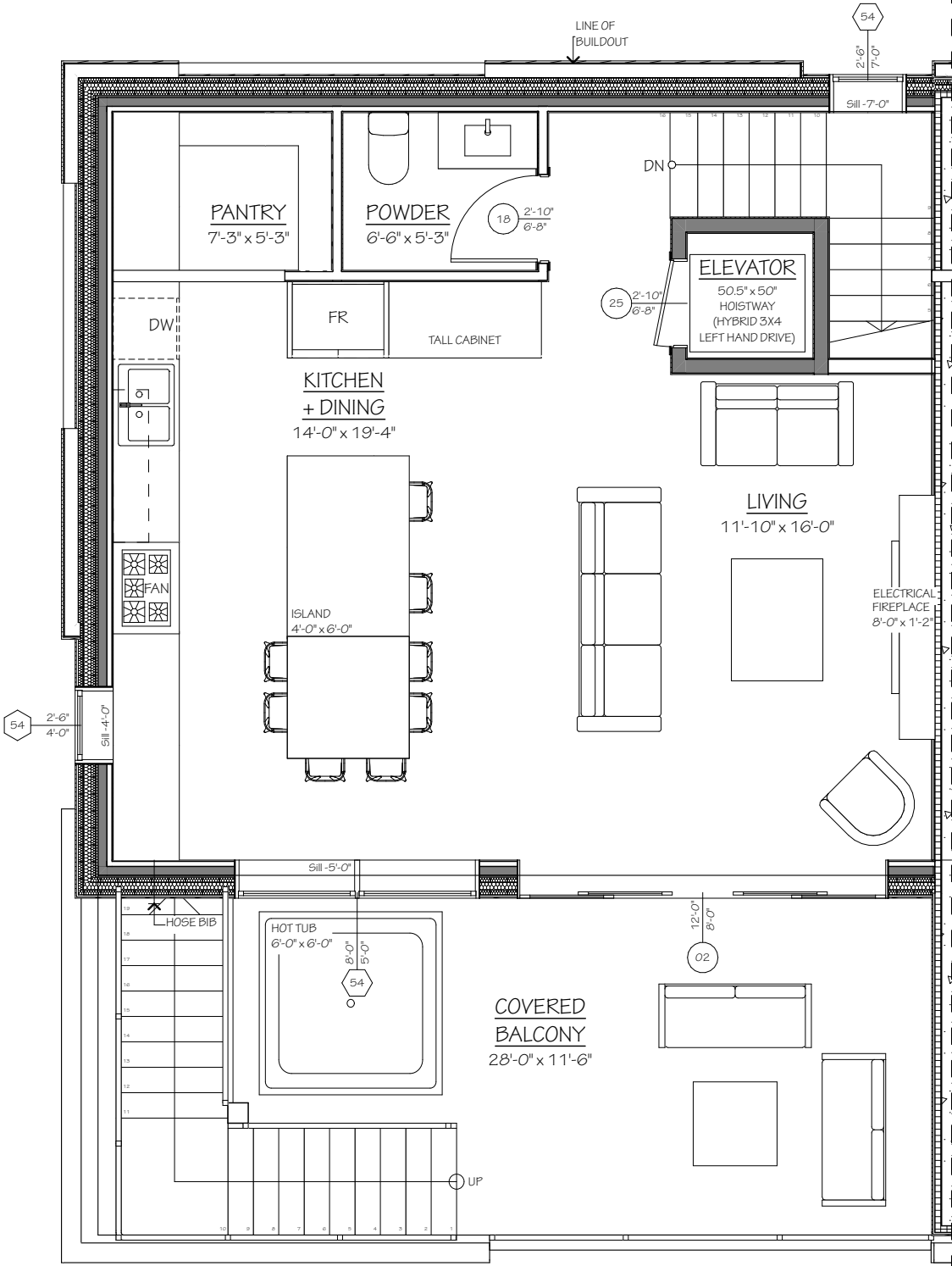
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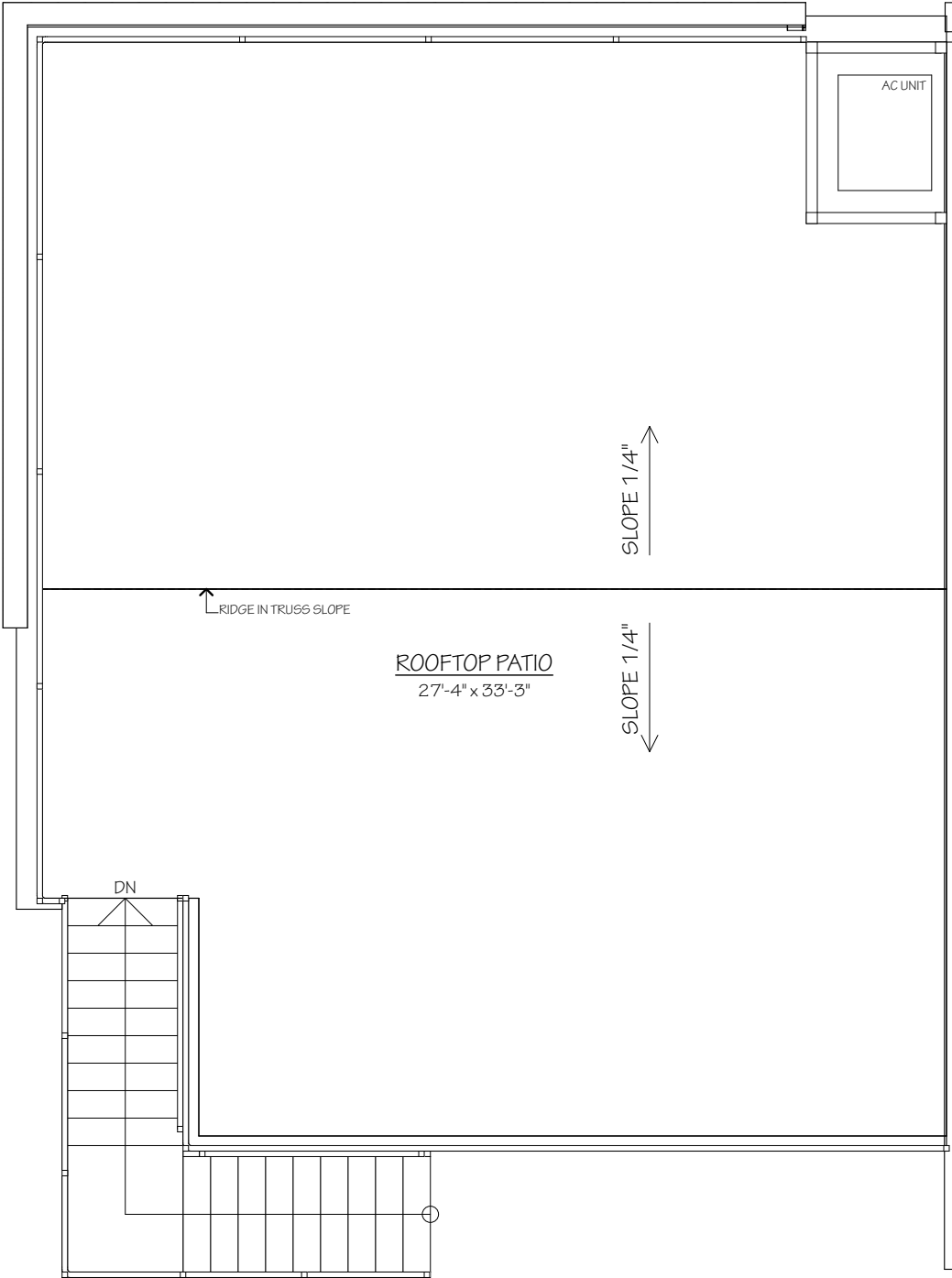
UNIT B-D UPPER/
ROOFTOP

1.3

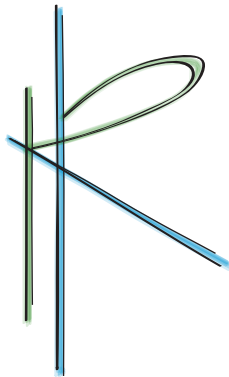
SHEET 8 OF 11



1 UPPER FLOOR
SCALE: 3/16" = 1'-0"



2 ROOFTOP
SCALE: 3/16" = 1'-0"



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ELEVATIONS

2.0

SHEET 9 OF 11



1

ENTRY ELEVATION

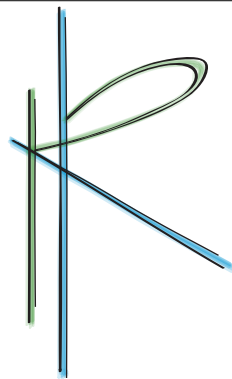
SCALE: 3/32" = 1'-0"



2

GARAGE ELEVATION

SCALE: 3/32" = 1'-0"



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ELEVATIONS +
BUILDOUT OPTIONS

2.1

SHEET 10 OF 11

KELOWNA BYLAW HEIGHT DEFINITION:
In determining whether a development conforms
to the maximum height permitted in any zone,
structures such as (), firewalls, () shall not
be considered for the purpose of determining the height.

GLAZING CALCULATION
FRONT ELEVATION
TOTAL EBF (UNIT A)
= 95.67M² (1029.70 SQFT)
LIMITING DISTANCE = 10.77 M
100% GLAZING ALLOWED
GLAZED AREA ALLOWED = 1029.70 SQFT
GLAZED AREA PROVIDED = 74.00 SQFT



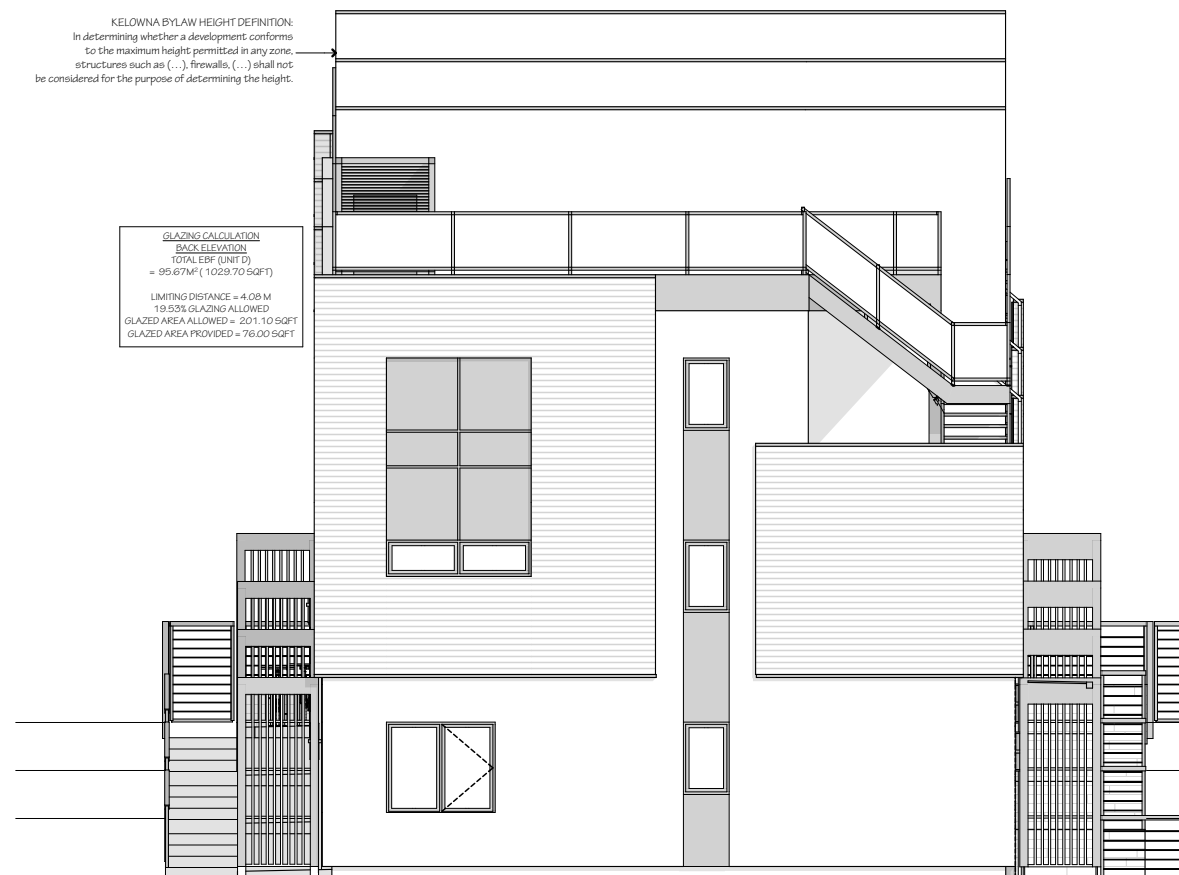
1

FRONT ELEVATION

SCALE: 3/32" = 1'-0"

KELOWNA BYLAW HEIGHT DEFINITION:
In determining whether a development conforms
to the maximum height permitted in any zone,
structures such as (), firewalls, () shall not
be considered for the purpose of determining the height.

GLAZING CALCULATION
BACK ELEVATION
TOTAL EBF (UNIT D)
= 95.67M² (1029.70 SQFT)
LIMITING DISTANCE = 4.08 M
19.53% GLAZING ALLOWED
GLAZED AREA ALLOWED = 201.10 SQFT
GLAZED AREA PROVIDED = 76.00 SQFT

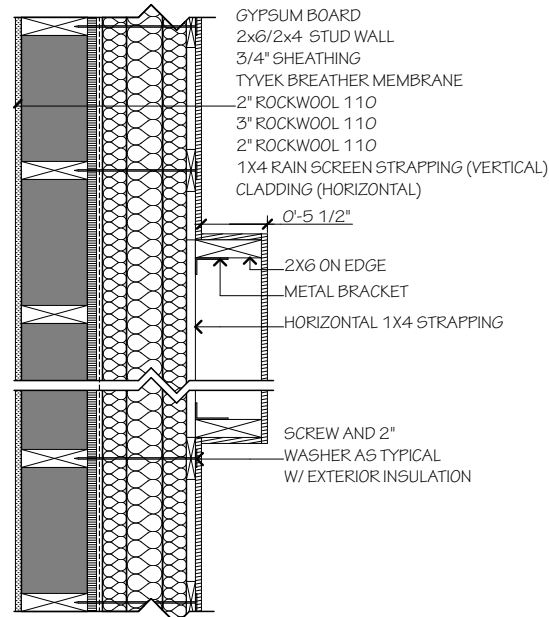


2

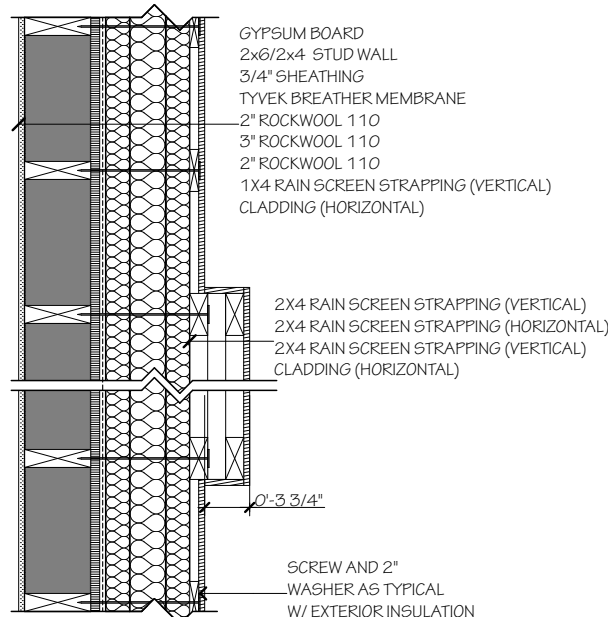
BACK ELEVATION

SCALE: 3/32" = 1'-0"

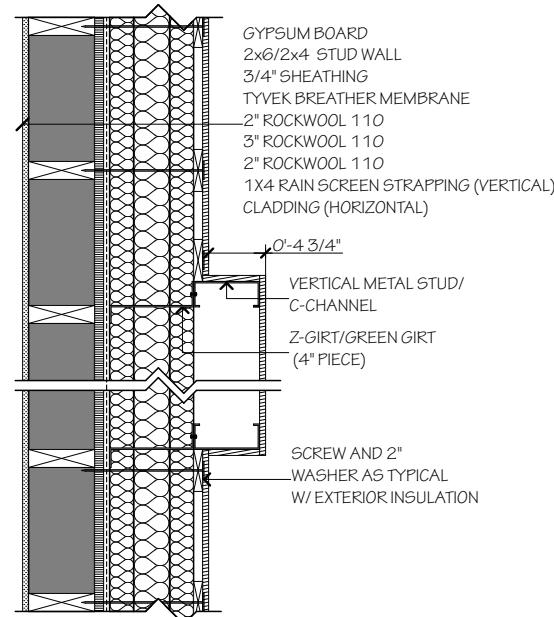
OPTION 1A:
BUILDOUT OUTSIDE INSULATION
2X6 FRAME



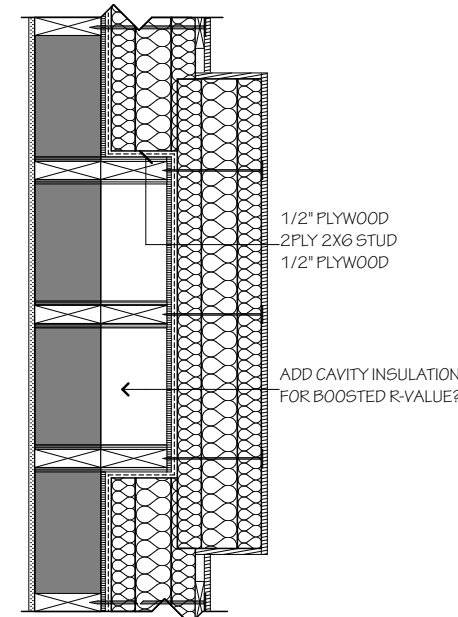
OPTION 1B:
BUILDOUT OUTSIDE INSULATION
EXTENDED RAINSCREEN



OPTION 1C:
BUILDOUT OUTSIDE INSULATION
4" Z-GIRT PIECES AND VERTICAL CHANNEL



OPTION 2:
BUILDOUT INSIDE INSULATION

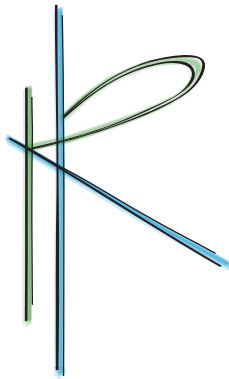


3

BUILDOUT OPTIONS

SCALE: 3/4" = 1'-0"

PLAN VIEW



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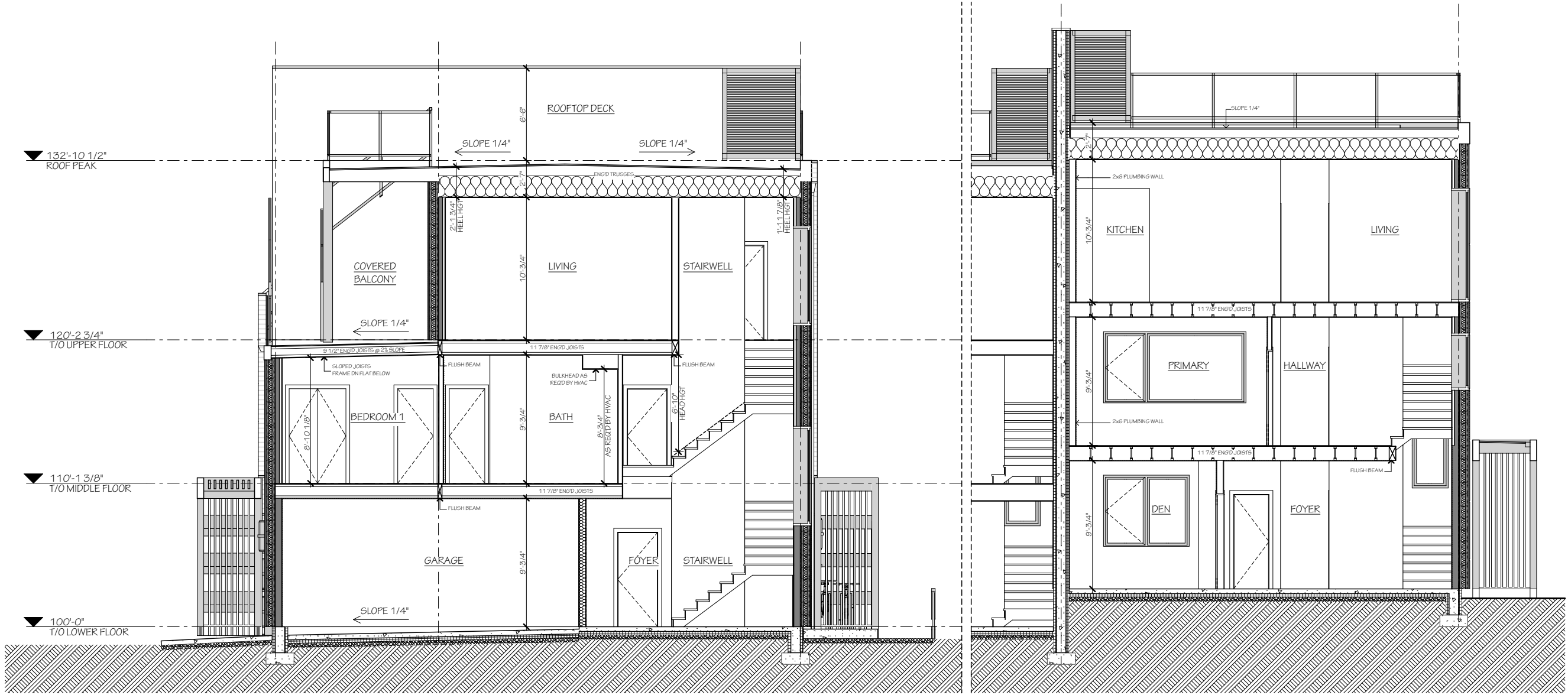
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PRELIMINARY
SECTIONS

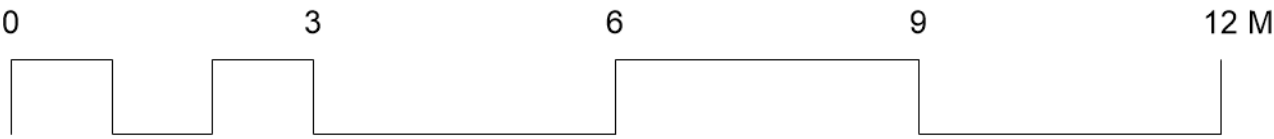
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SHEET 11 OF 11

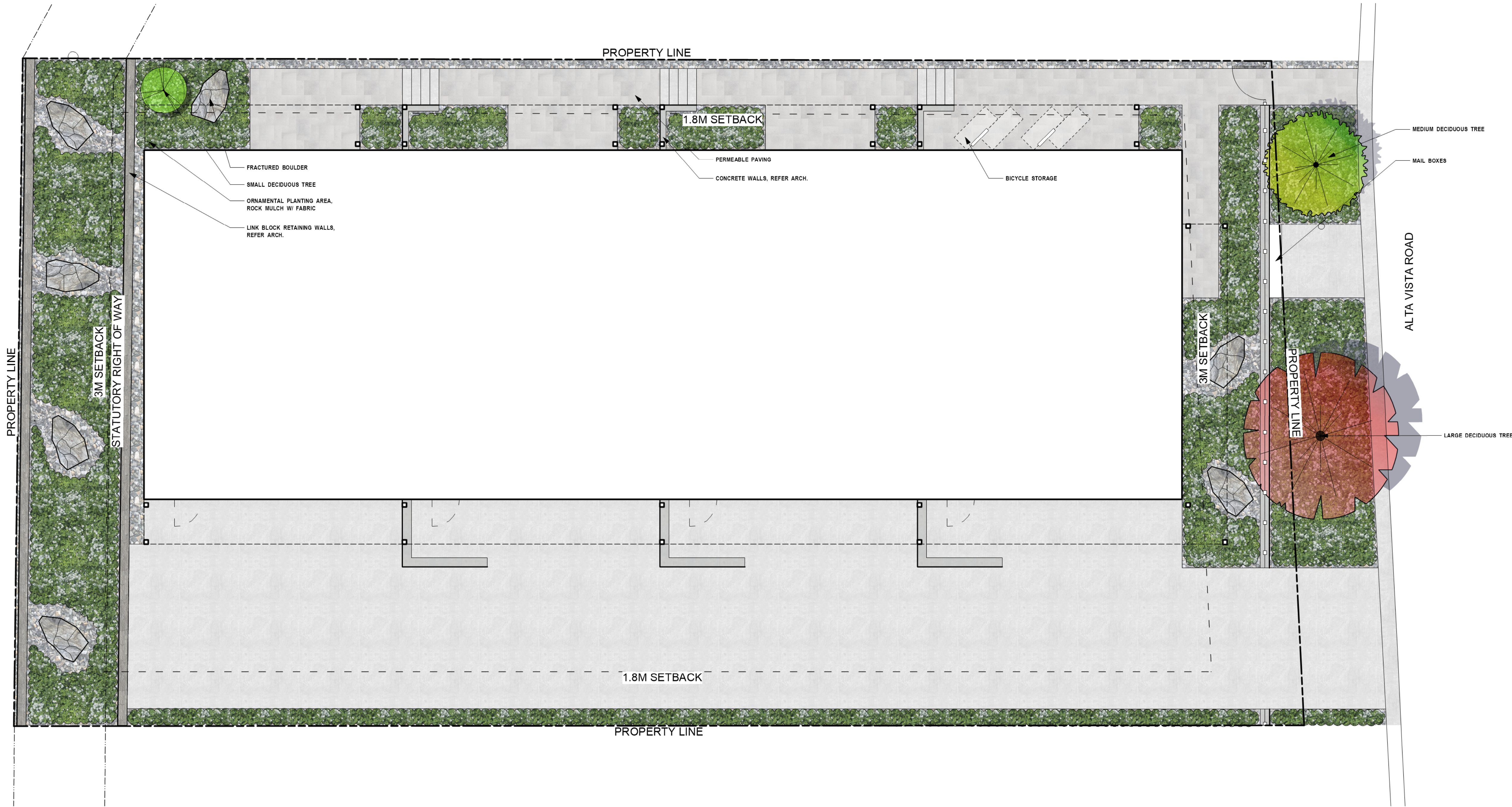


1 SECTION
SCALE: 1/8" = 1'-0"

2 SECTION
SCALE: 1/8" = 1'-0"



STATUTORY RIGHT OF WAY



MATERIALS PLAN LEGEND

- DECORATIVE ROCK MULCH
- PERMEABLE PAVERS
- BOULDERS - MIN 24" HT. BOULDERS
- PROPOSED LINK BLOCK RETAINING WALL, BY OTHERS
- PROPOSED CONCRETE RETAINING WALL, BY OTHERS
- NEW DECIDUOUS TREE



Okanagan Landscape Studio
info@oklandscapestudio.com
f i

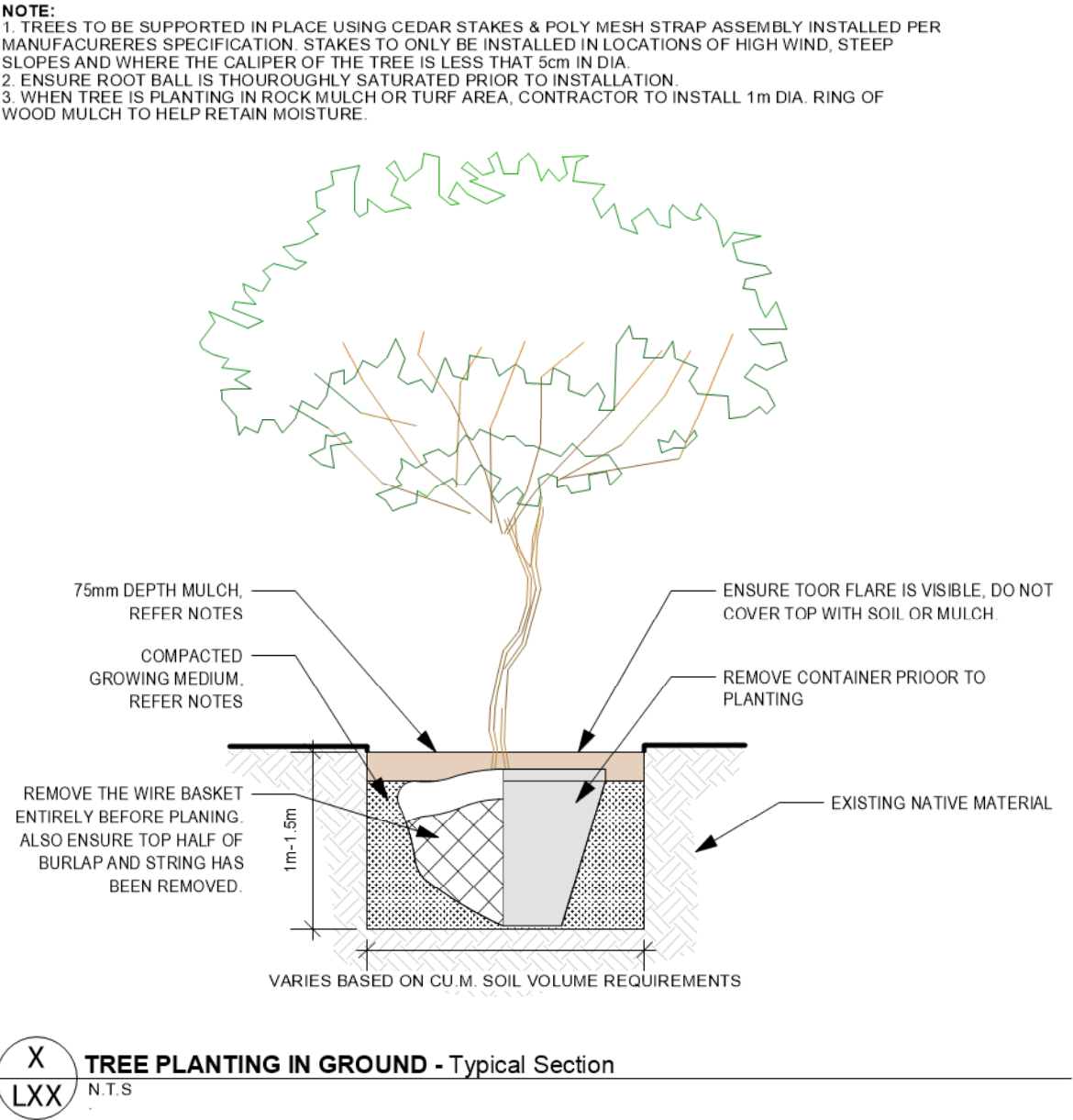
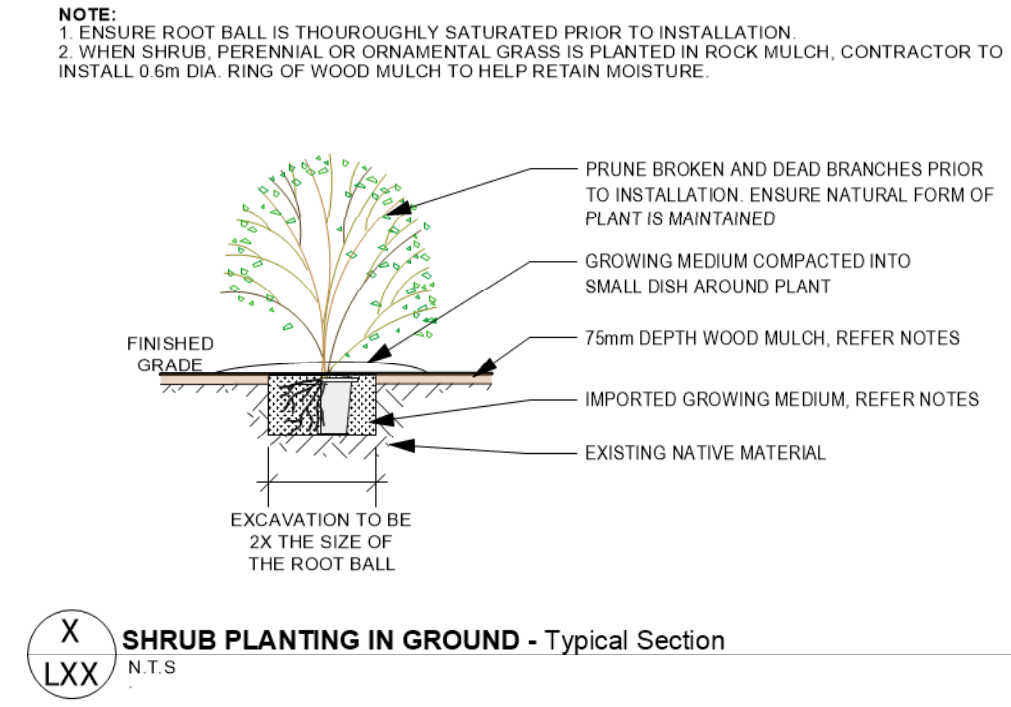
Revision Issue	DESCRIPTION	DATE	NO.
Initial Concept		15/10/24	01

PROJECT
VLS Developments
SITE ADDRESS
1458 Alta Vista Rd, Kelowna
SHEET TITLE
CONCEPT PLAN

Design by	SP
Project Number	24-047
Date	15/10/24
N	SCALE 1:75 PAGE 24"x36"

SHEET NUMBER
L-01

DETAILS



ZONING CALCULATION

LANDSCAPE AREA - 'L.A.' (PER TABLE 7.2)

ALTA VISTA ROAD 3M FRONTAGE

MIN. # OF TREE'S W/ IN 'L.A.': 22 lm = MIN. (2) TREES

MIN. GROWING MEDIUM AREA: 100 SQM TOTAL, 25 SQM PERMEABLE PAVING

75 SQM PLANTING = 75% SOFTSCAPE (INCLUDING OFFSITE BOULEVARD)

MIN. SETBACK FROM STRUCTURE: LARGE TREE 3.1m & MEDIUM TREES 3.5m

MIN. GROWING MEDIUM PER TREE: (1) LARGE TREES 20 cu.m. per tree (1) MEDIUM TREES 18 cu.m. per tree

DRIVEWAY NOT INCLUDED IN CALCULATIONS

NOTES

1) LANDSCAPE STANDARD

WORK OF THE CONTRACTOR SHALL MEET OR EXCEED ALL SPECIFICATIONS AND STANDARDS ESTABLISHED IN THE LATEST VERSION OF SECTION 7 IN CITY OF KELOWNA BYLAW 12375 AND THE CANADIAN LANDSCAPE STANDARD (JOINTLY PUBLISHED BY THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) AND THE CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA)).

2) INSPECTIONS

THE CONTRACTOR SHALL GIVE THE SITE INSPECTOR 48 HOURS NOTICE BEFORE ALL REQUIRED INSPECTIONS.

3) WOOD MULCH

THE CONTRACTOR SHALL SUPPLY AND PLACE DOUGLAS RED FIR MULCH, AT 75MM DEPTH (MIN.) TO THE BASE OF EACH OF THE INSTALLED PLANTS & ANY TREES IN TURF TO HAVE A MINIMUM 2M DIAM. RING OF WOOD MULCH AS SHOWN ON THE DRAWINGS. NO PLASTIC FILM OR WEED BARRIER FABRIC IS PERMITTED UNLESS OTHERWISE SPECIFIED ON THE DRAWING OR THE OWNER. CONTRACTOR TO CONFIRM THE WOOD MULCH SUPPLIED IS FREE OF ANY FOREIGN CHUNKS, STICKS, SOILS, STONES, CHEMICALS, SALT AND ROOTS, AND IS NON-MATTING.

4) ROCK MULCH

ALL LANDSCAPE BEDS ALONG THE BASE OF THE BUILDING TO RECIEVE 75MM DEPTH OF DECORATIVE ROCK MULCH W/ WEED BARRIER FABRIC INSTALLED BELOW.

4) GROWING MEDIUM

IMPORT GROWING MEDIUM SHALL BE PLACED AT 300MM DEPTH IN ALL PLANTING AREAS AND 150MM DEPTH IN ALL TURF AREAS, AS SHOWN IN THE DRAWINGS (TREE PIT VOLUME BASED ON ZONING CALCULATION TABLE). GROWING MEDIUM IS TO MEET PROPERTIES OF TYPE 2P FOR PLANTING AREAS AND TREE PITS AND TYPE 2L FOR TURF AREAS, AS PER TABLE T-6.3.5.3 IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD. VOLUME FOR TREE'S BASED ON ZONING CALCULATIONS.

5) DESIGN INTENT

THESE DRAWINGS ARE A REPRESENTATION OF THE GENERAL DESIGN INTENT TO BE IMPLEMENTED ON THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING A LANDSCAPE ARCHITECT IF ANY ADDITIONAL CLARIFICATION OR DETAILS ARE NECESSARY TO ACCOMMODATE SITE CONDITIONS OR ARCHITECTURAL DETAILS.

6) PLANT MATERIAL

ALL PLANT MATERIAL SUPPLIED AND PLACED BY THE CONTRACTOR MUST BE CERTIFIED TO BE FREE OF SUDDEN OAK DEATH (PHYTOPHTHORA RAMORUM), ACCORDING TO BCLNA OR CANADIAN FOOD INSPECTION AGENCY (CFIA) STANDARDS. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE SUPPLY AND PLACEMENT OF DISEASED PLANTS RESULTING FROM THEIR NEGLIGENCE TO THE OWNER. AT SOURCE OF SUPPLY, PLANT MATERIAL AND PRODUCTS SHALL BE AVAILABLE FOR OPTIONAL INSPECTION BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL PROVIDE A (3) YEAR REPLACEMENT GUARANTEE ON ALL PLANT MATERIAL FROM THE DATE OF SUBSTANTIAL PERFORMANCE. 80% SURVIVAL RATE IS REQUIRED FOR BOND TO BE RETURNED TO CLIENT.

7) SUBSTITUTIONS

THE CONTRACTOR SHALL NOT SUBSTITUTE PLANT MATERIAL OR PRODUCTS WITHOUT THE WRITTEN CONSENT OF THE CLIENT AND WILL BE HELD RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ANY UNAPPROVED SUBSTITUTIONS.

8) COMPOSITE BASE SHEET

THE PROPOSED IMPROVEMENTS DISPLAYED ON THESE DRAWINGS ARE SUPERIMPOSED ON THE BASE SHEET. THIS BASE SHEET IS COMPILED FROM ARCHITECTURAL AND/OR ENGINEERING DOCUMENTS, THE TOPOGRAPHIC SURVEY, AND OTHER DATA MADE AVAILABLE TO THE DESIGNER. THE DESIGNER SHALL NOT BE HELD LIABLE FOR INACCURACIES, OMISSIONS, CHANGES, OR OTHER ERRORS ON THESE DOCUMENTS. THE COMPOSITE BASE SHEET IS PROVIDED ONLY AS AN AID AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THESE DOCUMENTS AND INCORPORATING/INTEGRATING ALL CONSTRUCTION AS REQUIRED TO ACCOMMODATE SAME.

9) CONTRACTORS' JOB SITE CONDITIONS

CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR SITE CONDITIONS DURING CONSTRUCTION. THIS INCLUDES: SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT. CONTRACTOR TO REFER ENVIRONMENTAL PROFESSIONALS REQUIREMENTS FOR KEEPING THE SITE WITHIN REGULATIONS.

10) UTILITIES

THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND REQUESTING A VISUAL VERIFICATION OF THE LOCATIONS OF THEIR UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION. MOST UTILITY COMPANIES HAVE ACCESS TO THE UNDERGROUND SERVICE ALERT PROGRAM CALL BEFORE YOU DIG'. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT SHALL NOTIFY MEMBERS 48 HOURS PRIOR TO PERFORMING EXCAVATION WORK BY CALLING THE TOLL-FREE NUMBER (800) 474-6886. EXCAVATION IS DEFINED AS BEING 18 OR MORE INCHES IN DEPTH BELOW THE EXISTING SURFACE. THE CONTRACTOR IS CAUTIONED THAT EXCAVATION IS THE ONLY WAY TO REVEAL THE TYPES, EXTENT, SIZES, LOCATION, AND DEPTHS OF UNDERGROUND UTILITIES. HOWEVER, THE CONSULTANT CAN ASSUME NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DELINEATION OF SAID UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES NOT SHOWN ON THESE DRAWINGS.

11) IRRIGATION

PERMANENT AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO BE INSTALLED UNDER ALL SOFTSCAPE MATERIAL BY A QUALIFIED IRRIGATION PROFESSIONAL.

12) GRADING & DRAINAGE

ALL STRUCTURES TO HAVE POSITIVE DRAINAGE AWAY FROM BUILDINGS.

PLANTING SCHEDULE

Botanical Name	Common Name	Qty	Notes
Trees			
Acer saccharum	Sugar Maple	2	50cm cal.
Gleditsia tr. 'Sunburst'	Sunburst Honey Locust	2	40cm cal.
Syringa 'Ivory Silk'	Ivory Silk Lilac	2	40cm cal.
Shrubs, Perennials & Ornamental Grasses			
Buxus x 'Green Gem'	Green Gem Boxwood	50	1G CONT.
Calamagrostis x acu. 'Avalanche'	Avalanche Feather Reed Grass	35	1G CONT.
Hydrangea arbor. 'Annabelle'	Annabelle Hydrangea	25	1G CONT.
Molinia caerulea 'Moorhexe'	Moor Grass	35	1G CONT.
Salvia nem. 'Caradonna'	Caradonna Salvia	50	1G CONT.
Syringa vulgaris 'Charles Joy'	Charles Joy Lilac	15	1G CONT.



Okanagan Landscape Studio
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Revision Issue	DESCRIPTION	DATE	NO.
	Initial Concept	15/10/24	01

PROJECT

VLS Developments

SITE ADDRESS

1458 Alta Vista Rd,
Kelowna

SHEET TITLE

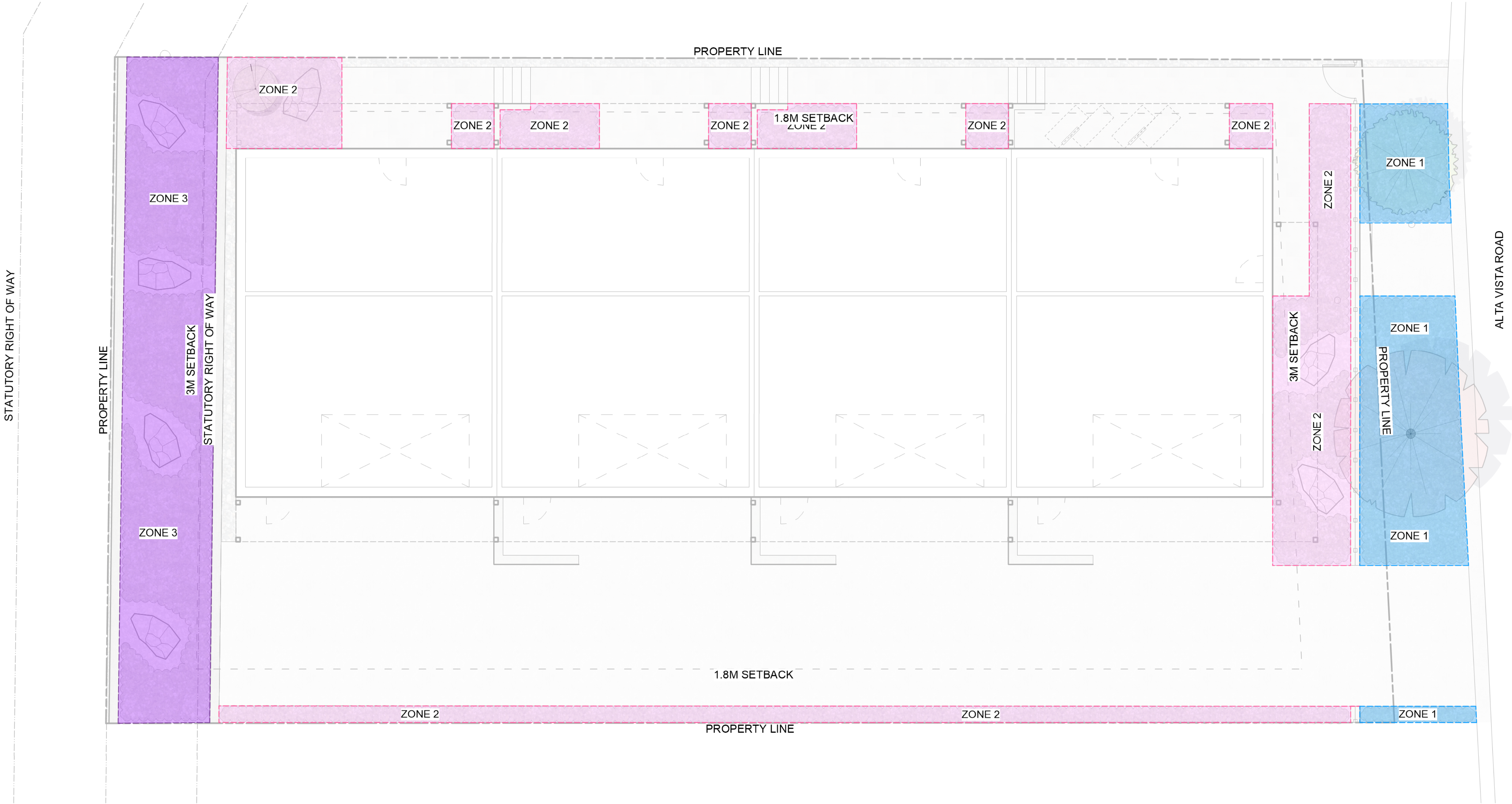
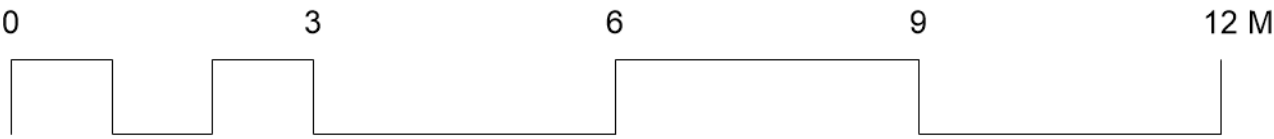
DETAILS & NOTES

Design by	SP
Project Number	24-047
Date	15/10/24

SCALE N/A
PAGE 24"x36"

SHEET NUMBER

L-02



ZONE LEGEND

- ZONE #1** : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE
PLANTING AREAS
TOTAL AREA: 44 SQM.
MICROCLIMATE: SOUTH FACING PLANTING AREA WITH MODERATE COVERAGE FROM TREES
ESTIMATED WU: 20 CU.M.
- ZONE #2** : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE
PLANTING AREAS
TOTAL AREA: 84 SQM.
MICROCLIMATE: EAST & WEST FACING PLANTING AREA WITH MODERATE COVERAGE
ESTIMATED WU: 37 CU.M.
- ZONE #3** : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE
PLANTING AREAS
TOTAL AREA: 68 SQM.
MICROCLIMATE: NORTH FACING PLANTING AREA WITH MODERATE COVERAGE FROM WALL
ESTIMATED WU: 30 CU.M.

WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WB) = 171 CU.M./YEAR

ESTIMATED LANDSCAPE WATER USE (WU) = 87 CU.M. / YEAR

WATER BALANCE = 84 CU.M. / YEAR

**SEE ATTACHED IRRIGATION APPLICATION FOR CALCULATION BREAKDOWNS*

IRRIGATION NOTES

- 1. INSTALLATION PRACTICIES**

ALL IRRIGATION INSTALLATION PRACTICES TO MEET IIABC STANDARDS, INSTALLED BY A CIT CERTIFIED PROFESSIONAL
- 2. SYSTEM DESIGN**

SYSTEM IS DESIGNED BASED ON 10 GPM & 75 PSI AVAILABLE FROM EXTERIOR STUB OUT.
- 3. GRAPHIC CLARITY**

DESIGN IS SHOWN SCHEMATICALLY FOR GRAPHIC CLARITY. CONTRACTOR TO INSTALL ALL COMPONENTS IN COMMON TRENCHES WHERE FEASIBLE AND INSIDE PLANTING AREAS WHENEVER POSSIBLE
- 4. IRRIGATION SLEEVES**

ALL SLEEVES TO BE INSTALLED AT THE NECESSARY DEPTHS PRIOR TO PAVEMENT CONSTRUCTION AND EXTEND 300mm INTO LAWN OR PLANTING AREA



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Kelowna

SHEET TITLE

IRRIGATION
LAYOUT PLAN

Design by	SP
Project Number	24-047
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N

SCALE
1:75

PAGE
24"x36"

SHEET NUMBER

L-03